

# OSHARA VILLAGE

## COMMERCIAL DESIGN GUIDELINES

REVISED MARCH 26, 2018



## INTRODUCTION

### Oshara Village Commercial Covenants

A Declaration of Covenants, Conditions and Restrictions for commercial lots within Oshara Village has been recorded as Instrument #1437410 on June 12, 2006, in Santa Fe County, and such instrument is hereby attached as a part of these Commercial Design Guidelines.

### Declaration of Water Covenants and Restrictions

A Declaration of Water Covenants and Restrictions for commercial lots within Oshara Village has been recorded as Instrument #1437408 on June 12, 2006, in Santa Fe County, and such instrument is hereby attached as a part of these Commercial Design Guidelines.

### Sewer Hook-up

All commercial lots within Oshara Village shall connect to the existing sewer lines owned by Oshara Village, and shall pay a hook-up fee and monthly fees as determined by Oshara at the time of submittal. Monthly sewer fees will be determined by the treatment facility based on estimated and actual water use.

### Commercial Architectural Review Committee

A Commercial Architectural Review Committee ("CARC") formed in accordance with the Covenants will analyze all proposed building plans, including new buildings, as well as additions to existing buildings, to ensure compliance with these Design Guidelines. Until established, the acting Residential ARC will function as such. For each proposed building or other structure, a conceptual site plan, landscaping plan, lighting plan, parking and pedestrian plan, and building elevations, along with colors and materials, shall be submitted to the CARC for approval. See submittal requirements below. All submittals shall include payment of a design review fee as established in accordance with the Covenants. Design review fee will be determined by developed square footage of project as noted on the Commercial Design Review Submittal Form. Written approval of the CARC must be obtained for each project prior to proceeding with construction documents and application for building permit. Approval will be granted when the building plans meet the requirements of these standards to the satisfaction of the CARC and Oshara Village Commercial Owners Association Board of Directors (CBOD). Variances to these standards shall be reviewed by the CARC. Recommendations of the CARC shall be submitted in writing along with the design review submittal to the CBOD for approval. Decisions by the CBOD with regard to approval of variances are final.

### Amendment

Design Guidelines repeal or amendment may be suggested by a majority vote of the CARC at any time, with final approval needed from the CBOD, However, no repeal or amendment of these Design Guidelines shall affect the restrictions imposed by the Master Declaration, the Covenants and the Development Plan.

### Submittals

Preliminary submittals shall include two (2) copies of plans and specifications that clearly show the nature of the work or installation, including developed square footage and the location thereof on a lot. Such preliminary or tentative plans shall include a conceptual site plan, landscaping plan, lighting plan, parking, traffic and pedestrian flow plan, and building elevations, along with colors and materials sufficient to enable the CARC to evaluate whether the proposed construction, alteration, installation, etc. will comply with the Design Guidelines and harmonize with the motif and style of the Development. After approval of preliminary plans, applicants shall submit two (2) complete sets of

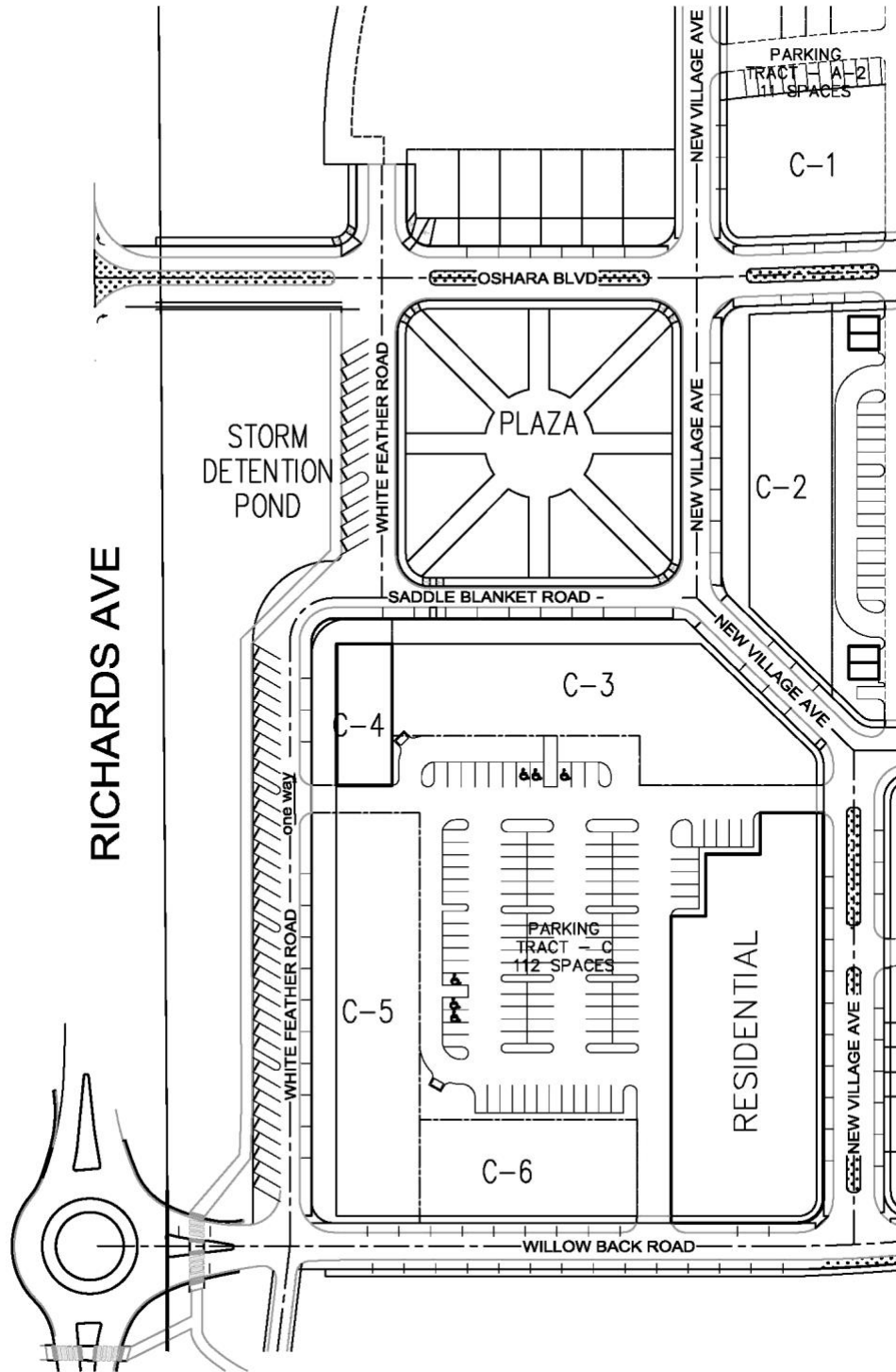
final plans and specifications. Submittals and fees are to be made to the property management company at the time of submittal as designated on the Submittal Form.

## SUMMARY

The intent of these guidelines is to ensure that the commercial areas of Oshara Village are developed in a manner to maximize their value and appearance for all owners. Toward that end, these guidelines encourage high quality building design along with attractive, welcoming pedestrian-friendly areas.

A significant focus of these requirements is the pedestrian zone between the street and the buildings. Within that zone, buildings are encouraged to provide a portal attached to the building for protection from the weather and a continuous sidewalk parallel to the street that connects to adjacent properties. Additional amenities such as landscaping, outdoor furniture or trellises also are encouraged in this zone. Requested variances to these requirements must enhance the project's appearance and function and be approved by the CARC and the CBOD.

OSHARA PHASE 1 PLAZA COMMERCIAL AREA



## SITE GUIDELINES

### PARKING LOTS

All commercial businesses in Oshara share common parking lots. Improvement of these lots by individual businesses shall have 5% of interior area in minimum 5' wide planting strips, and minimum 5' wide planting strips around parking lot perimeter where adjacent to property lines. Vehicular access and exiting plan should be submitted.

### PEDESTRIAN ACCESS

ADA compliant parking shall be located adjacent to the building entry.

Pedestrian crossings shall have a minimum width of 6 feet. They shall be clearly demarcated with textured paving or striping and shall be provided where pedestrian paths cross vehicular entrances and drive aisles. Any property exceeding 150 feet of frontage is encouraged to provide a through property pedestrian access from sidewalk to parking lot tract. Bicycle racks shall be conveniently located near building entrances but not within pedestrian pathways or landscaped areas. These plans must be approved by CARC and CBOD.

### SIDEWALKS

Minimum 6' wide sidewalk required within the front setback along the full length of property parallel to the street. The intent of this requirement is to have a continuous pedestrian pathway from one property to another. Portions of sidewalks extending beyond building are encouraged to be sheltered with a portal or trellis structure and lined with planting. Sidewalk ADA compliance is required.

### PEDESTRIAN AMENITIES

Shaded walkways and seating, benches, fountains, bike racks, trash receptacles and security lighting are encouraged.

### LANDSCAPE

All landscape submittals and installations regardless of when installed must comply with the Development Plan.

Ground Cover – All areas not covered by hardscape must have ground cover. Bark mulch or gravel recommended. No turf allowed.

Trees & Shrubs – Xeric species only, deciduous trees minimum 2" caliper, conifers minimum 6' height, shrubs 3' height or spread.

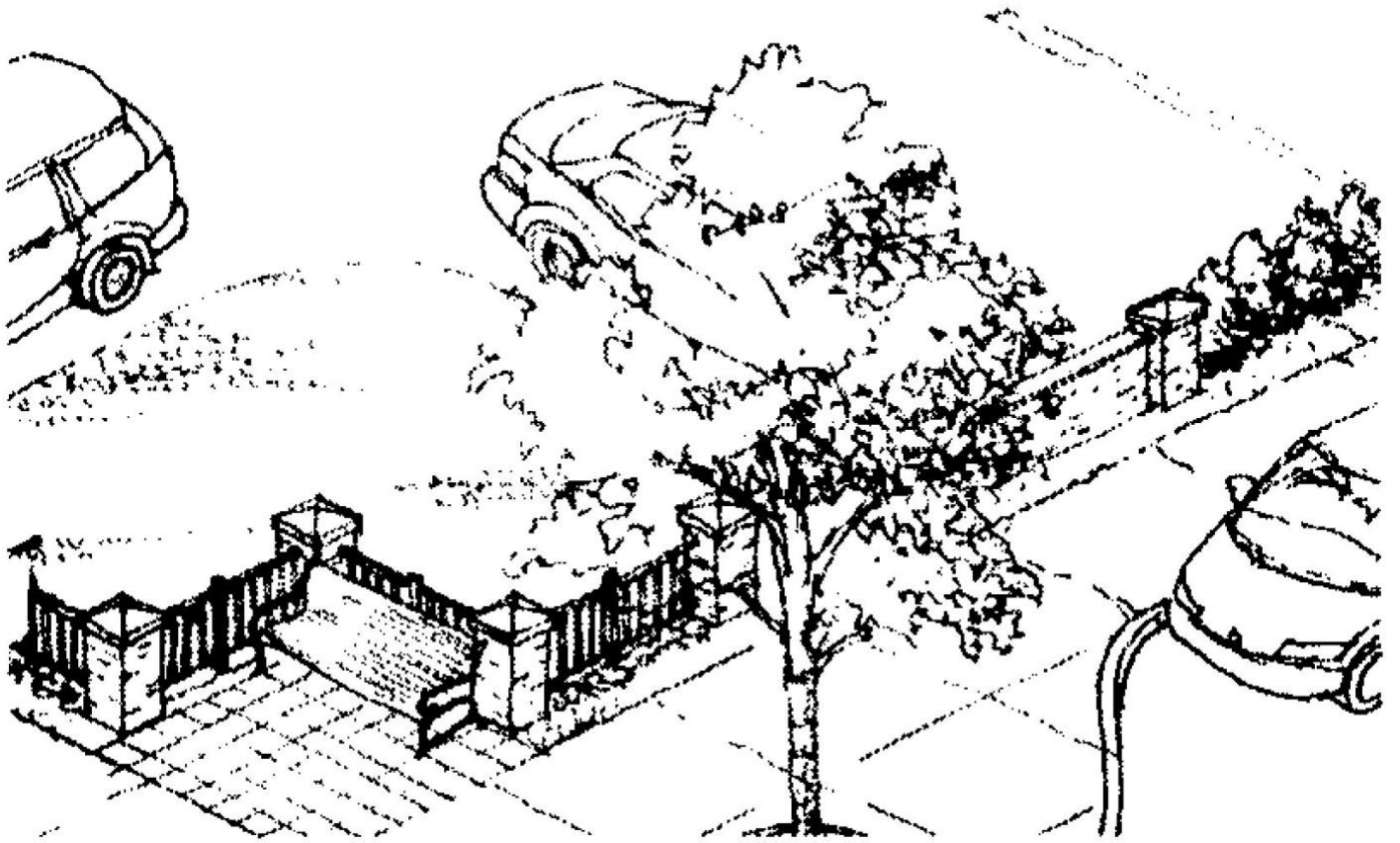
Irrigation – All landscape shall be irrigated by the treated effluent returned from the onsite wastewater treatment plant, or by storm runoff retained on site, as defined by the Development Plan. No potable water shall be used for irrigating landscape. All lines must be underground. All irrigation valves and equipment must be housed in below ground vaults. Over-spray of hardscape not allowed.

Plantings encouraged near front walkway along the street.

Raised bed planters shall be stucco covered masonry, or stone. No railroad ties, landscape timbers, split face blocks or precast landscape blocks are allowed without CARC and BOD approval.

### SCREENED GROUND MOUNTED EQUIPMENT

Ground mounted transformers, hot boxes and wall mounted utility boxes shall be fully screened by walled enclosures or landscaping.



### SCREEN WALLS

The effective use of screening walls and landscaping for parking lots, loading areas, refuse collection, and delivery/storage areas is essential to limit their adverse visual impact on surrounding buildings. Such service functions shall be sited away from street or pedestrian areas whenever practical.

The following design standards are to ensure effective screening of negative elements:

All outdoor refuse containers shall be screened within a minimum 6-foot tall masonry enclosure finished to complement the adjacent building. Stucco covered 8" thick minimum CMU required. No wood frame structures. Walls are required on all sides of ground mounted mechanical equipment (4' high) loading & trash areas (6' high).

Enclosures shall be large enough to contain all refuse generated between collections. Refuse container enclosures shall be gated.

Refuse collection areas shall not be allowed between the street and building front.

Loading areas visible from public streets shall be screened by minimum 6-foot tall masonry wall finished to complement the adjacent building.

### FENCING

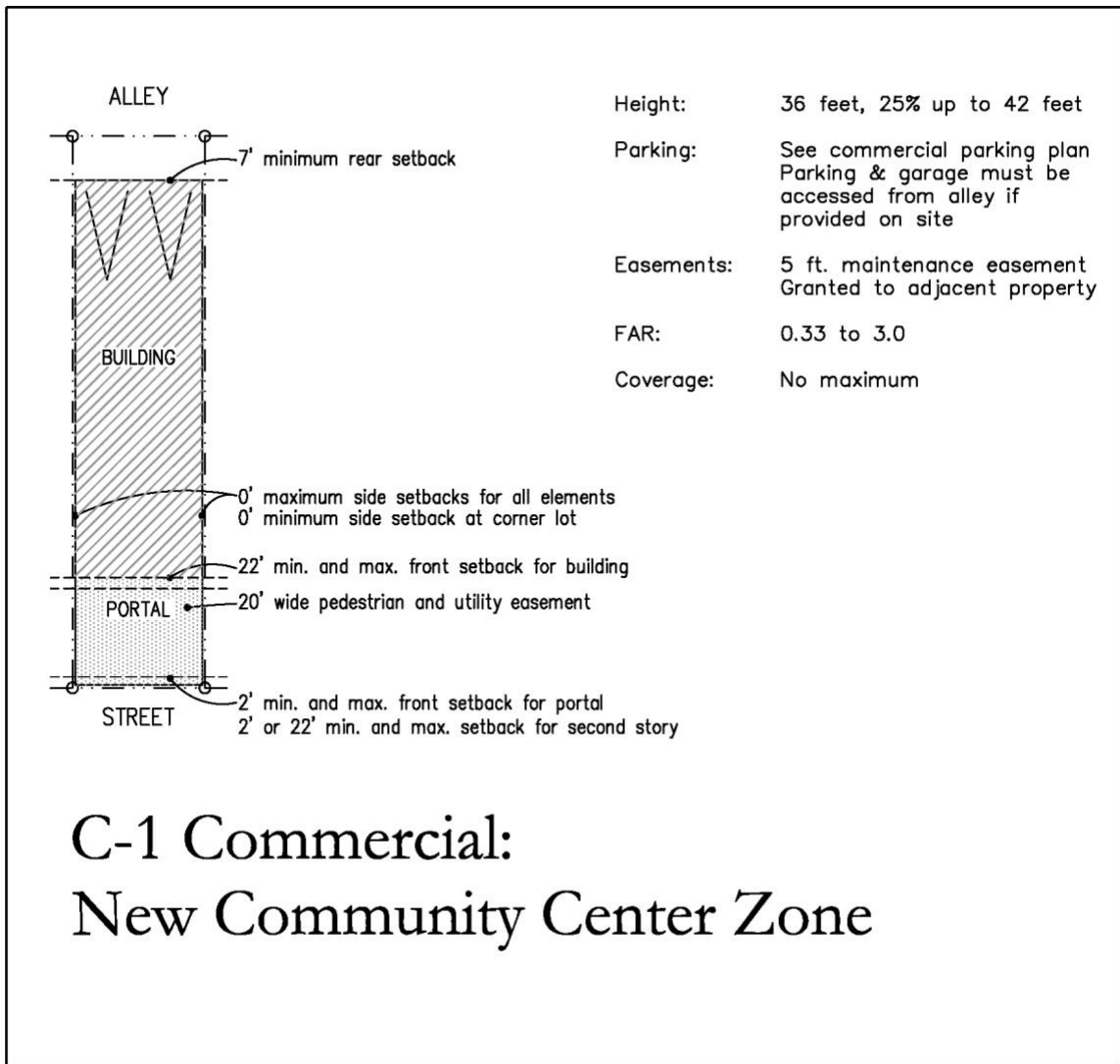
If fencing is used it shall be wrought iron type. Chain link is prohibited. Wooden fencing is prohibited unless approved by the CARC and CBOD.

**STORM RUNOFF**

All roof and hardscape runoff shall either be collected for passive water harvesting or conveyed by underground pipes to the existing storm sewer system. All gutters and downspouts shall be hidden inside building walls.

**BIKE RACKS**

Concrete pad mounted bike racks shall be constructed on each tract consistent with County Bicycle Parking Guidelines.



COMMERCIAL LOT TYPICAL (AS APPROVED IN DEVELOPMENT PLAN)

## BUILDING GUIDELINES

### BUILDING SETBACKS

See Lot Typical above;

22' minimum and maximum front setback for first floor, except for portal

22' or 2' minimum and maximum front setback for upper floors

2' minimum, 12' maximum front setback for portal

0' minimum and maximum side setbacks

7' minimum rear setback

### FRONT FAÇADE

A portal is encouraged along the entire front façade of the building per C-1 Commercial Lot Typical, unless otherwise approved by the CARC and CBOD. This portal shall have supporting posts, columns or piers. If the building is greater than 1 story tall, the upper story may be built over the portal. Fabric awnings do not meet the portal requirement. The floor of the portal is required to be paved with concrete, brick or stone. The main customer entrance must be located underneath the portal, in front of the building facing the street. Deeply recessed glazing and entrance are encouraged in front façade. Minimum 50% of front façade shall be full height glazing or entry.

### BUILDING HEIGHT

See Lot Typical above

### UTILITY METERS

Utility meters shall be screened with coniferous planting or screen walls, hidden from street and attached to the building. No freestanding meters allowed, except gas meters.

### ACCESSORY STRUCTURES

Trash enclosures, ATM machines, truck docks, shopping cart storage enclosures shall be constructed of or enclosed with stucco covered CMU with steel access gates painted to match main building.

### FULLY SHIELDED EXTERIOR LIGHTING

All exterior lighting is required to be fully shielded except for security lighting. No light shall project above a horizontal plane from the bottom of the shield, except for uplighting under portals and building overhangs. No wall washing except under portals and building overhangs. Exterior lighting shall not spill onto adjacent properties.

### SECURITY LIGHTING

Security lighting is not required to be shielded, but all security lighting must be on motion sensors and timers limited to 5 minutes.

### POLE MOUNTED LIGHTING OF PARKING LOTS & PEDESTRIAN WAYS

Free standing, pole mounted lighting should blend with the style of the existing plaza lights and should not exceed their height, which is approximately 14 feet.



## ADDITIONAL ARCHITECTURAL DESIGN STANDARDS

In addition to the building and site requirements above, all new building and addition submittals shall be reviewed according to the the Architectural Design Standards as listed below.

### WALLS

Predominant Exterior Surface Material:

Preferred/Suggested: Stucco, adobe, brick, natural stone

May be approved if enhancing design: Metal siding, glass curtainwall systems, glass block, wood siding and simulated materials.

Not allowed: Mirrored glass curtainwall systems, concrete and unit masonry.

Color of predominant exterior surface material:

Preferred/Suggested: Earth tones, creams, and pastels of earth tone hues including, but not necessarily limited to, rose, peach and terra cotta colors.

May be approved if enhancing design: Pastel or accent colors of non-earth tone hues, whites, grays and grayish greens.

Not allowed: High-intensity colors, metallic colors and black.

### Exterior Surface Treatment

Wall surfaces should appear monolithic with at least 75% of the total wall area one material and one color. Differing shades of the same general hue shall not be considered different colors. Non-solar fenestration, window and door awnings, applied trim and accent materials, colors and decorative bands, with the exception of stucco, masonry or concrete control joints, are to be used in such a way that they do not give a panelized or prefabricated appearance, produce striped or checkerboard patterns, or exceed 25% of the surface area of any façade. Fenestration and/or accent colors on wall surfaces under portals or canopies having a horizontal depth of at least six feet shall be exempt from area calculations.

### ROOFS

Form:

Preferred/Suggested: Flat roof surfaces must be entirely concealed from public view by parapets.

May be approved if enhancing design: Uniformly sloping roofs or any combination of flat and uniformly sloping roofs shall have a height, from springline to peak, that does not exceed the average height of the supporting walls. Sloping roof areas may not have a slope with less than 4 feet of vertical rise for every 12 feet of horizontal run or have a slope with greater than 12 feet of vertical rise for every 12 feet of horizontal run.

Not allowed: Non-uniformly sloping roofs.

Material:

Preferred/Suggested: All surfaces should be concealed from public view preferred. Surfaces approved to be in public view may be standing, flat, or batten seam metal roofing or flat tiles of clay, concrete or slate.

May be approved if enhancing design: Barrel tiles of clay, concrete or slate, asphalt shingles, or metal roof tiles.

Not allowed: Wood shingles or shakes and other materials including, but not necessarily limited to, plastic and fiberglass.

#### Predominant Color

Preferred/Suggested: All surfaces should be concealed from public view preferred. Surfaces in public view may be of dark reds, browns, and earth tones or natural metals including aluminum, zinc, tin and lead.

May be approved if enhancing design: Low-intensity colors other than those state above.

Not allowed: White, bright, non-fading, high-intensity colors and any use of multiple colors.

### BUILDING FORM

One-story buildings with over 10,000 square feet of gross floor area and multi-story buildings with over 20,000 square feet of gross floor area should be designed with wall plane projections or setbacks on each publicly visible façade having a depth of at least 3% of the length of the façade and extending at least 20% of the length of the façade.

One-story buildings with less than or equal to 10,000 square feet of gross floor area and multi-story buildings with less than or equal to 20,000 square feet of gross floor area should be designed with either offsetting wall planes or upper story stepbacks of at least 4 horizontal feet, or a recessed entry space or projecting canopy or portal having a depth of at least 6 horizontal feet, on at least one publicly visible façade.

### DOORS AND WINDOWS

#### Treatment:

Windows and glazed surfaces, which are not located under portals or canopies having a horizontal depth of at least 6 feet, are to have either frames recessed a minimum of 2 inches, are cased with trim, have divided lites, or have exposed or otherwise articulated lintels.

#### Area:

All wall surfaces which are not located under portals or canopies having a horizontal depth of at least 6 feet, and which do not include solar fenestration, shall have a maximum less than or equal to 50% openings consisting of doors, windows, glazing and other penetrations.

#### Location:

All doors, windows and glazed surfaces, on structures having a gross floor area greater than 150 square feet, are to be located at least 2 feet from outside building corners.

All doors, windows and glazed surfaces, on structures having a gross floor area less than or equal to 150 square feet, are to have at least a 2 inch wide mullion at inside and outside building corners.

#### Glazing:

Preferred/Suggested: All glazing is to be clear or tinted neutral gray.

May be approved if enhancing design: Any use of colored glazing.

No Allowed: Any use of mirrored glazing.

## EQUIPMENT

All roof and wall mounted mechanical, electrical, communications and service equipment, including satellite dishes and vent pipes, are to be screened from public view by parapets, walls fences, dense evergreen foliage, or by other means approved by the CARC and CBOD.

## SIGN DESIGN GUIDELINES

All signage shall be designed to be consistent with and complement the materials and architectural style of the building or site location.

### MONUMENT SIGN

Individual monument signs are not allowed. If a commercial businesses monument sign is installed, height, design, location, colors, materials, lighting and use details must be approved by the CARC and CBOD.

### WALL SIGNS

The use of channel lettering rather than a cabinet sign is required. Letters shall be a maximum of 24" height. An accompanying logo, trademark or patented symbol shall not exceed 36" in height. Each lot shall be limited to no more than 2 wall signs per tenant in addition to a monument sign. Wall signs may be illuminated from behind the letters or internally lit. Wall signs shall not project above the parapet or roof line without review and approval by the CARC and CBOD.

### HANGING OR PROJECTING SIGNS

(any sign which is attached to a structure and which extends at an approximately perpendicular angle from the wall or hangs from the underside of an arcade, portal or recessed entry) One hanging or projecting sign permitted for business identification. Maximum 4 square feet. Hanging or projecting signs shall be adjacent to the entry of the business, and shall be attached in a manner that prevents swinging, with a minimum clearance of 7' from finished grade.

### STREET ADDRESS SIGNS

One sign per address is required, and shall be located adjacent to main entry. May be located on window, door or wall surface.

### INFORMATIONAL SIGNS

One sign per business is allowed, providing hours of operation and other non advertising information. Maximum 2 square feet. May be painted on window glass or on attached wood or metal panel.

### NEON SIGNS

Must be located behind window glass, first floor windows only. No neon sign shall flash, blink, vary in intensity, revolve or otherwise appear to be in motion.

### PAINTED SIGNS

Any of the allowed sign types may be a painted sign. No Signs can be painted directly on the building, except informational signage may be painted on window glass within three feet of an entry. Painted signs must be on a separate wood or metal panel.

### SIGN MATERIALS

Sign panels shall be made of wood, metal, plastic or paint. Sign frames, if used, shall be made of wood or metal. Letters and logos shall be made of carved wood, formed metal, plastic or painted. Any or all parts of the sign may be painted. No sign or part thereof shall contain reflective or shining metal.

### SIGN ILLUMINATION

All sign illumination must be fully shielded.

### SIGNAGE AREA LIMIT

The total area of sign for each building that receives a building permit (including the monument sign, wall signs, and hanging signs) shall not exceed 150 square feet.

### TEMPORARY SIGNS

Temporary signs, including fabric and banner signs that announce special events including commercial advertising, are required to be reviewed by the CARC before installation and shall be approved on a case by case basis. No temporary sign shall extend over or into any street, alley, sidewalk, right-of-way, visibility triangle, or other public thoroughfare.

### TEMPORARY SIGNS DURING CONSTRUCTION

Signs related to the construction process, including information about the architect, engineer, or contractor, as well as "FOR SALE", "FOR LEASE" or "COMING SOON" signs are allowed for the duration of site or building construction and shall be located on the property under construction. Temporary signage related to construction shall be removed when a certificate of occupancy is granted, or when construction has been completed or stopped. "FOR SALE" or "FOR LEASE" signs shall be removed when the advertised property is sold or leased. No temporary signage shall extend over or into any street, alley, sidewalk, right-of-way, visibility triangle, or other public thoroughfare. Temporary signage shall be a maximum size of 32 square feet in area with any dimension not to exceed 8 feet long, shall be mounted a maximum of 10 feet above finished grade, and a minimum of 7 feet clearance above any walkway. Temporary signage shall be securely mounted on the construction perimeter fencing or on a building wall, or may be freestanding. A maximum of one sign is allowed per business.

### PROHIBITED SIGNS

No off-premise signs are allowed except on approved monuments.

Fabric and banner signs except as defined in temporary signs are not allowed.

Signs that are portable, fixed on a movable stand, on vehicles, self-supporting without being firmly embedded in the ground, supported by other objects, mounted on wheels or moveable vehicles, or easily moveable in any manner are not permitted.

No sign shall flash, blink, vary in intensity, revolve or otherwise appear to be in motion.

No sign shall have audible devices.

No sign shall have movable parts, except for those signs or marquees having design features for changing of legend or inscription.

There shall be no exposed conduits, transformers, or other electrical connections.



## Frontage Street on Main District Thoroughfare



COMMERCIAL BUILDING 2



COMMERCIAL BUILDINGS 3 & 4



COMMERCIAL BUILDINGS 4 & 5

END OF OSHARA COMMERCIAL DESIGN GUIDELINES

Architect's Conceptions by

LORN TRYK ARCHITECTS SANTA FE, NM